



**Masons Road ,**  
Stratford-upon-Avon, CV37 9NZ

Jeremy  
**McGinn** & Co 



# Offers Over £400,000

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A very substantial and pleasantly mature link-detached family home, situated within easy reach of the Town Centre to which there is a convenient walk along the canal towpath.

The property stands back from the road being approached via a generous block paved driveway offering parking or up to 4 cars. The accommodation is of good proportion and benefits from gas central heating & uPVC double glazing - Enclosed Porch, Hallway, Good Sized Living Room, Separate Dining Room, Re-fitted Kitchen including oven, hob, dishwasher & fridge/freezer, Conservatory, Landing, Three well-proportioned Bedrooms and Re-fitted Shower Room.

There is a good sized garage to the side together with a useful workshop & timber shed. The rear garden is enclosed and of good proportion.

Tenure: Freehold







**Tax Band: D**

**Council: Stratford on Avon DC**

**Tenure: Freehold**

Stratford-Upon-Avon -  
Internationally famous as the  
birthplace of William Shakespeare  
and home to the Royal Shakespeare  
Theatre attracts almost four million  
visitors a year.

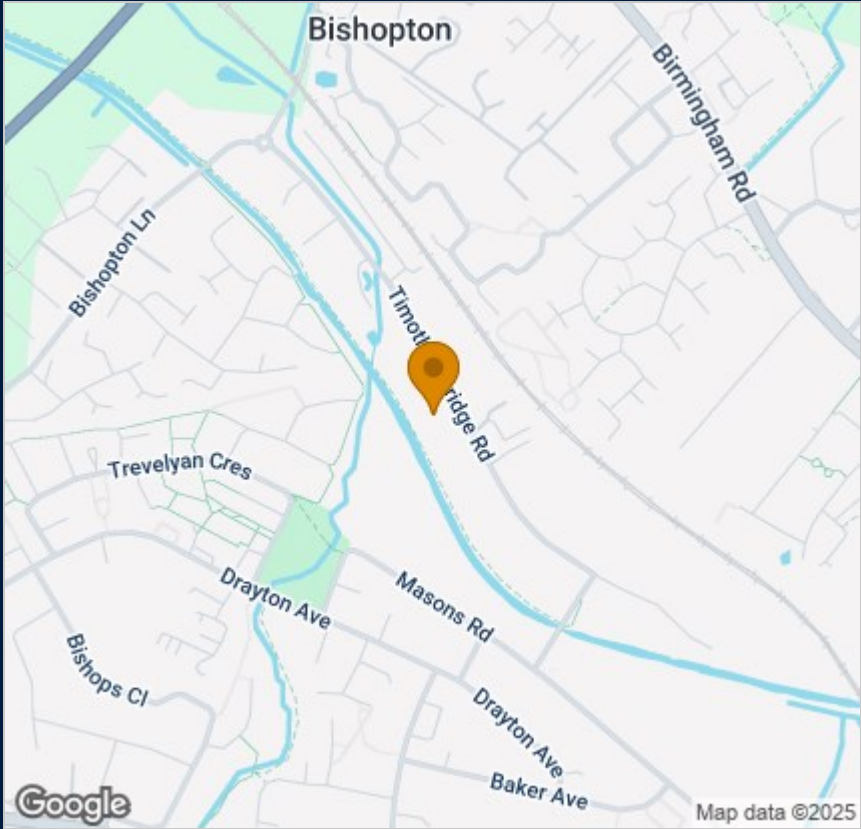
Stratford is also a prosperous  
riverside market town with fine  
restaurants and inns, a good choice  
of public and private schools and  
excellent sporting and recreational  
amenities. Regular rail services to  
Birmingham make this an ideal  
place from which to commute whilst  
fast train services give access to  
London in a little over an hour from  
nearby Warwick Parkway. The  
M40 is with a 15 minute drive  
providing easy access to the  
excellent Midland motorway  
network along with Birmingham  
International Airport.



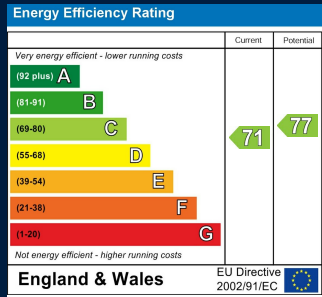
# Floor Plan



## Map



## Energy Performance



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These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

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